

Land Adjacent to Ashtons Cottages,
Swineshead Road,
Framptom Holme,
PE20 1SF

Document in response to no. 9. of conditional permission

– “9. No above ground construction works shall take place until full details of the biodiversity enhancement measures across the site and a timetable for their implementation, have been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented in accordance with the approved scheme prior to first occupation of the dwelling,

Reason: In the interest of enhancing the ecology of the area in accordance with **Policy 2, 28**, and **31** of the South East Lincolnshire Local Plan 2019.”

Policy 2: Development Management

Proposals requiring planning permission for development will be permitted provided that sustainable development considerations are met, specifically in relation to:

1. size, scale, layout, density and impact on the amenity, trees, character and appearance of the area and the relationship to existing development and land uses;

See drawing numbers SWI_01 – SWI_06 for the above information.

2. quality of design and orientation;

See drawing numbers SWI_01 – SWI_06 for the above information.

3. maximising the use of sustainable materials and resources;

We confirm where possible all materials and resources will be sustainable.

4. access and vehicle generation levels;

All electric vehicle charging points will be built in. Access is as indicated on the Site Plan.

5. the capacity of existing community services and infrastructure;

The proposal is a single dwelling and therefore will have minimal impact on local community services and infrastructure.

6. impact upon neighbouring land uses by reason of noise, odour, disturbance or visual intrusion;

There will be minimal impact on neighbouring land.

7. sustainable drainage and flood risk;

All to Specialist detail and recommendations. The ground floor of the house has been designed to be one metre above existing ground level as part of the FRA.

8. impact or enhancement for areas of natural habitats and historical buildings and heritage assets; and

See response to Policy 28 below in regards to biodiversity enhancement. There is no impact on historical buildings and heritage assets in this development.

9. impact on the potential loss of sand and gravel mineral resources.

As per the SE Lincolnshire policies map, our proposed site is not in a safeguarding area for sand and gravel.

Policy 28: The Natural Environment

A high quality, comprehensive ecological network of interconnected designated sites, sites of nature conservation importance and wildlife-friendly greenspace will be achieved by protecting, enhancing and managing natural assets:

1. Internationally-designated sites, on land or at sea:

N/A as proposed development site is not an international designated site.

a. development proposals that would cause harm to these assets will not be permitted, except in exceptional circumstances, where imperative reasons of overriding public interest exist, and the loss will be compensated by the creation of sites of equal or greater nature conservation value;

b. all major housing proposals within 10km of The Wash and the North Norfolk Coast European Marine Site, including the Sustainable Urban Extensions in Boston (site Sou006 & Wes002), Spalding (site Pin024/Pin045) and Holbeach West (site Hob048), will be the subject of a project-level Habitats Regulations Assessment (HRA) to assess the impact of recreational pressure on The Wash and North Norfolk Coast

European Marine Site. This should include:

- i. locally-specific information relating to access and site sensitivities; Where the project-level HRA concludes that avoidance and/or mitigation measures are required, it is expected that:
- ii. Suitable Alternative Natural Greenspace (SANGs) should be provided on site Sou006 and Wes002, site Pin024/Pin045 and site Hob048 as part of their package of mitigation measures; or
- iii. all other major housing proposals should provide SANGs on-site and/or through a financial contribution to provide and/or enhance natural greenspace in the locality;
- iv. Suitable Alternative Natural Greenspaces should be designed in accordance with capacity and facility requirements in relation to South East Lincolnshire Local Plan 2011-36 the developments they mitigate for, best practice elsewhere and relevant evidence.

2. Nationally or locally-designated sites and protected or priority habitats and species:

N/A as proposed development site is not a national or local designated site.

- a. development proposals that would directly or indirectly adversely affect these assets will not be permitted unless:
 - i. there are no alternative sites that would cause less or no harm; and
 - ii. the benefits of the development at the proposed site, clearly outweigh the adverse impacts on the features of the site and the wider network of natural habitats; and
 - iii. suitable prevention, mitigation and compensation measures are provided.

3. Addressing gaps in the ecological network: a. by ensuring that all development proposals shall provide an overall net gain in biodiversity, by:

- i. protecting the biodiversity value of land, buildings and trees (including veteran trees) minimising the fragmentation of habitats;

Existing hedgerows will be retained and the disruption of the biodiversity of the land will be minimal, with considerations for enhancement provided below.

- ii. maximising the opportunities for restoration, enhancement and connection of natural habitats and species of principal importance;

Incorporated into the building will be recommended habitats for both nesting birds and bat species, specifically the Common Pipistrelle (*Pipistellus*) by use of integrated roost and nesting sites, see images below for examples.

iii. incorporating beneficial biodiversity conservation features on buildings, where appropriate; and maximising opportunities to enhance green infrastructure and ecological corridors, including water space; and

See images for incorporated conservation features on the proposed building, as-well the site plan. As previously mentioned, existing hedgerows are being retained and any new fencing will include hedgehog apertures in gravel boards to retain ecological corridors.

All external building lighting will be carefully considered (i.e. downlights only) and kept to a minimum, and off at peak foraging hours for bats. In addition to incorporated conservation features, wildflower beds will be sown and maintained to support local invertebrate populations.

iv. conserving or enhancing biodiversity or geodiversity conservation features that will provide new habitat and help wildlife to adapt to climate change, and if the development is within a Nature Improvement Area (NIA), contributing to the aims and objectives of the NIA.

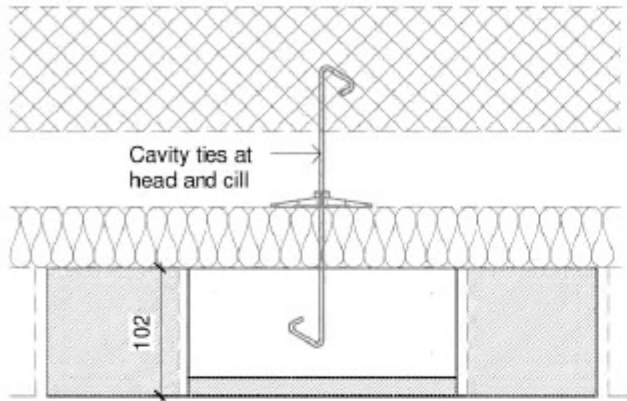




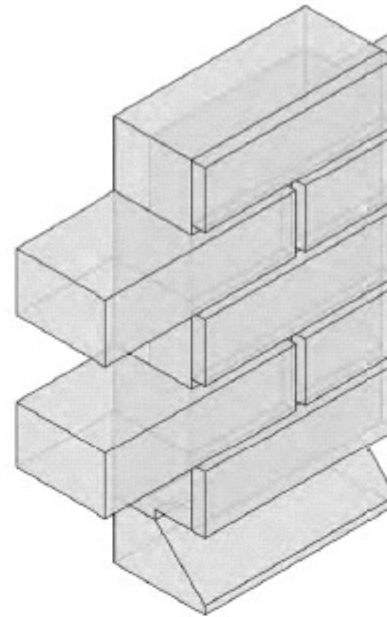
Habibat Small Bird Nest Box (integrated, 25mm hole)



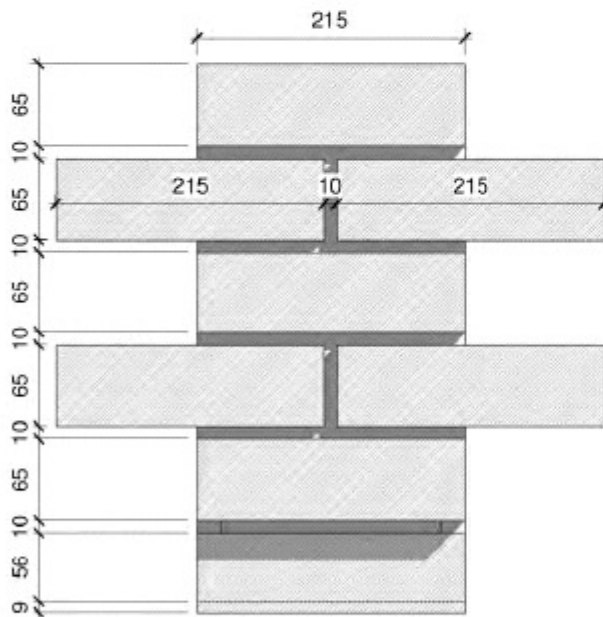
Habibat Bat Box 003



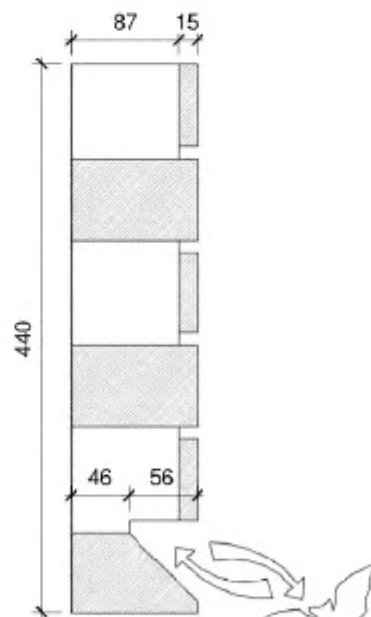
Plan View



3D View



Front Elevation



Side Elevation

© 20



Habibat Bat

Policy 31: Climate Change and Renewable and Low Carbon Energy

A. Climate Change

All development proposals will be required to demonstrate that the consequences of current climate change has been addressed, minimised and mitigated by:

1. employing a high-quality design;

The proposed building will be insulated to the current regulations to ensure minimal heat loss and consequential energy wastage.

2. the adoption of the sequential approach and Exception Test to flood-risk and the incorporation of flood-mitigation measures in design and construction to reduce the effects of flooding, including SuDS schemes for South East Lincolnshire Local Plan 2011-36 all 'Major' applications;

Specialist consultants will provide the above details and will be forwarded when available.

3. the protection of the quality, quantity and availability of water resources, including for residential developments, complying with the Building Regulation water efficiency standard of 110 litres per person per day;

Full compliance will be ensured in this regard. Details will be forwarded from specialist consultants when available.

4. reducing the need to travel through locational decisions and, where appropriate, providing a mix of uses;

Development complies with this.

5. incorporating measures which promote and enhance green infrastructure and provide an overall net gain in biodiversity as required by Policy 28 to improve the resilience of ecosystems within and beyond the site.

See above notes on the proposed approach to Policy 28.

B. Renewable Energy

With the exception of Wind Energy the development of renewable energy facilities, associated infrastructure and the integration of decentralised technologies on existing or proposed structures will be permitted provided, individually, or cumulatively, there would be no significant harm to:

As proposed development is a single domestic dwelling, there will be minimal to no impact in this regard.

1. visual amenity, landscape character or quality, or skyline considerations;
2. residential amenity in respect of: noise, fumes, odour, vibration, shadow flicker, sunlight reflection, broadcast interference, traffic;
3. highway safety (including public rights of way);
4. agricultural land take;
5. aviation and radar safety;
6. heritage assets including their setting; and
7. the natural environment.

Provision should be made for post-construction monitoring and the removal of the facility and reinstatement of the site if the development ceases to be operational. Proposals by a local community for the development of renewable and low-carbon sources of energy, in scale with their community's requirements, including supporting infrastructure for renewable energy projects, will be supported and considered in the context of contributing to the achievement of sustainable development and meeting the challenge of climate change and against criteria B1-7.